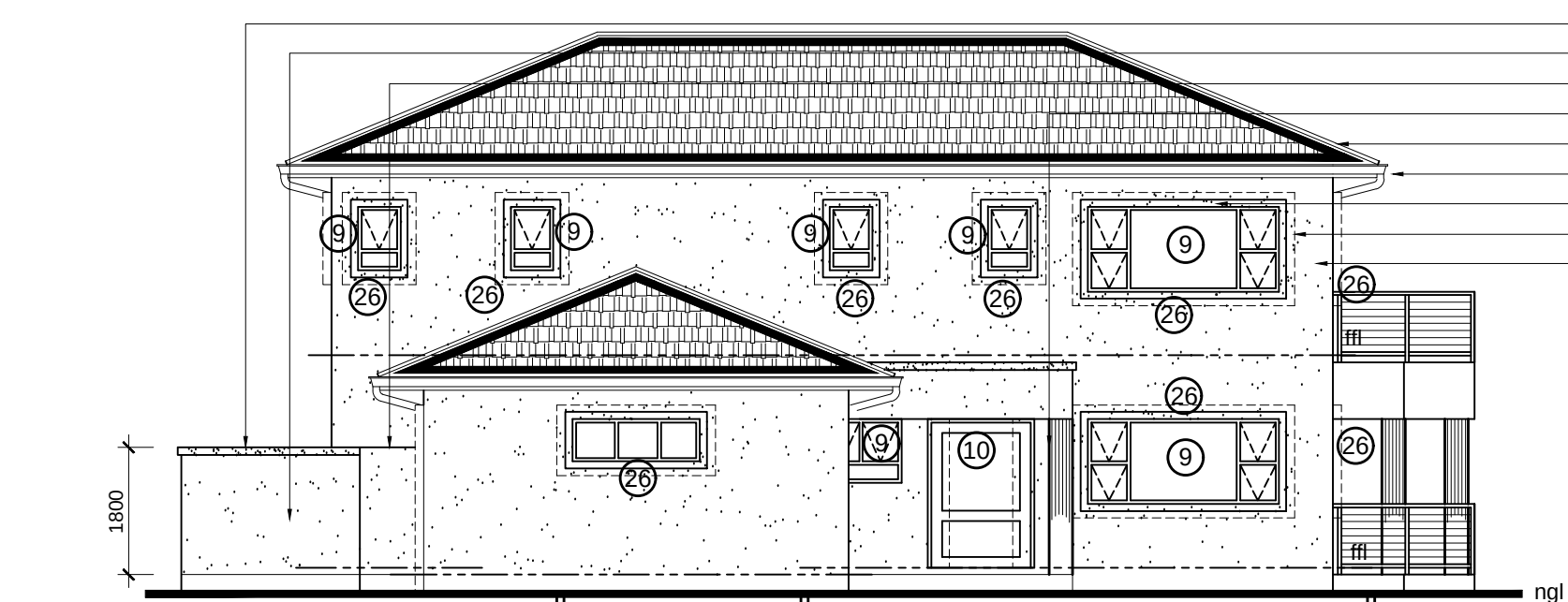




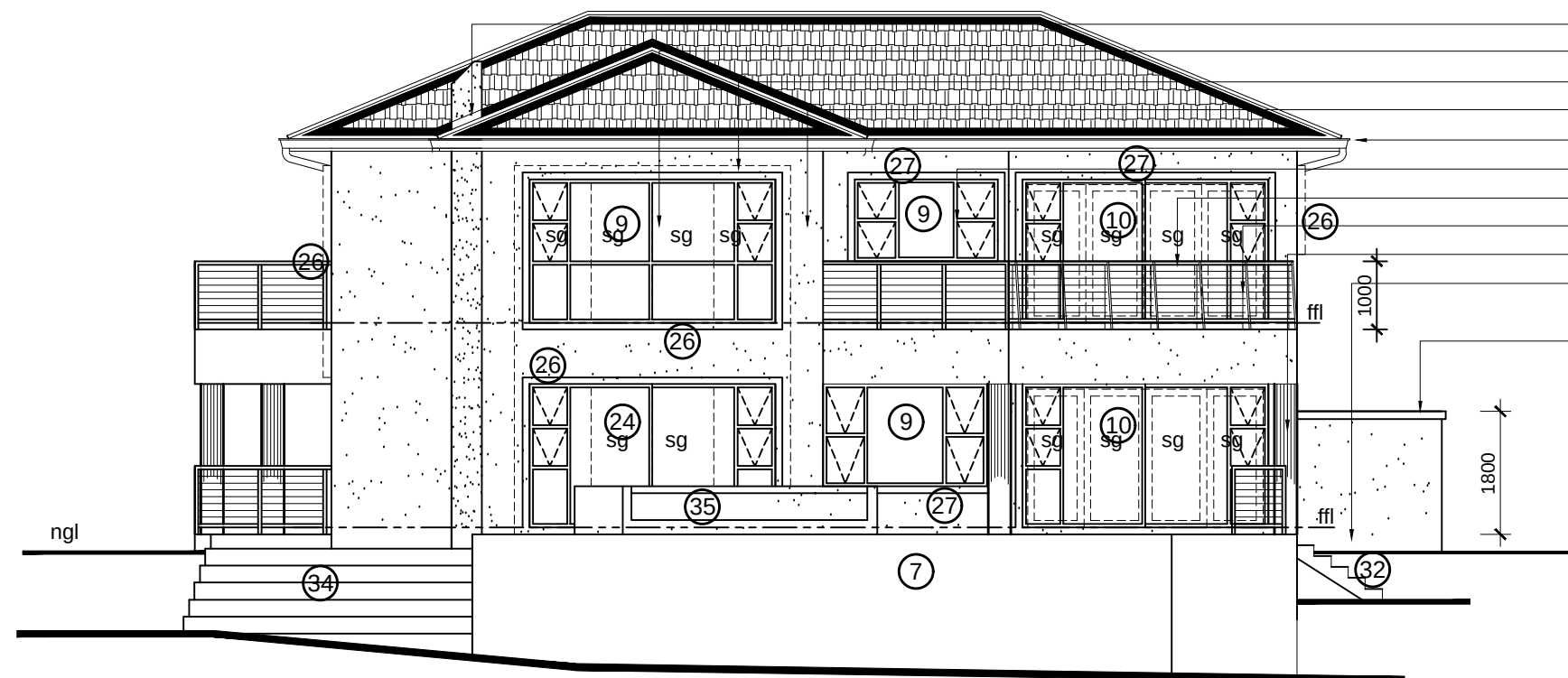
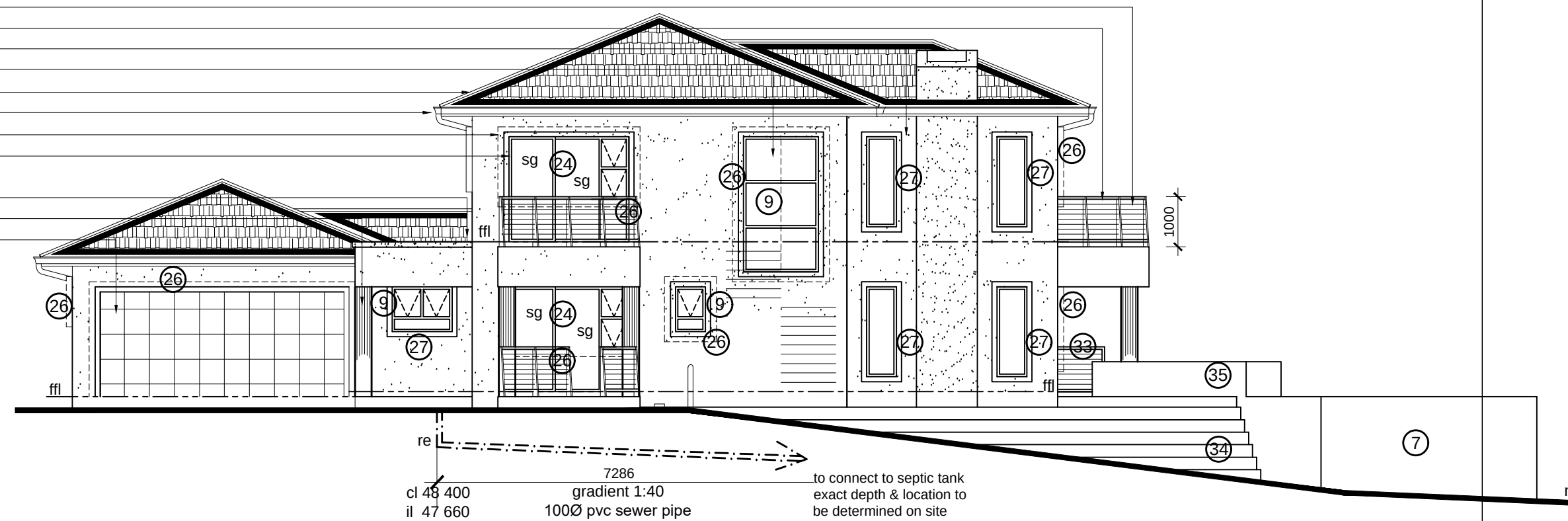
- CONCRETE CAPPING
- 1800 HIGH SCREEN WALL
- GMS GATE
- 3300 RC COLUMN
- CONCRETE ROOF TILES
- 100 PVC GUTTERS & DOWNPIPES
- ALUMINIUM WINDOW FRAMES
- RAISED PLASTER DETAIL
- PLASTER & PAINT
- BALUSTRADE TO COMPLY WITH PART D & M OF NBR
- BALUSTRADE TO DEVELOPERS CHOICE
- PLASTER & PAINT
- WINDOW TO SPECIALIST DETAIL & DESIGN
- CONCRETE ROOF TILES
- 100 PVC GUTTERS & DOWNPIPES
- RAISED PLASTER DETAIL
- ALUMINIUM WINDOW FRAMES
- FLASHING
- 3300 RC COLUMN
- GARAGE DOOR TO DEVELOPERS CHOICE

W ELEVATION

1:100

S ELEVATION

1:100



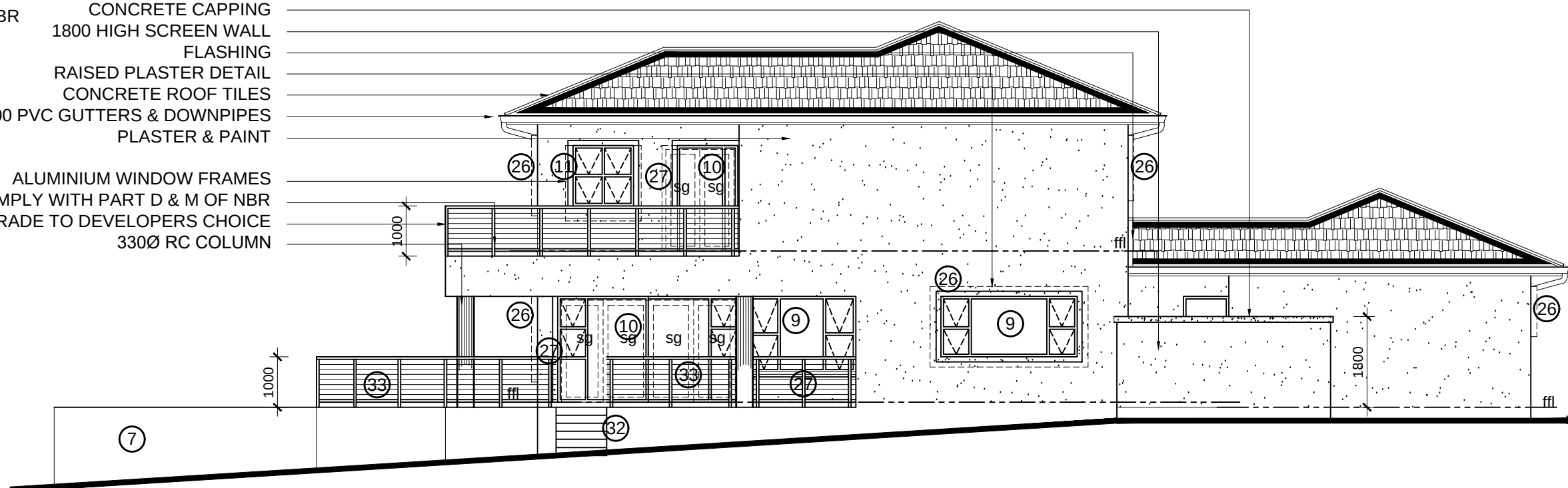
- FLASHING
- WINDOW TO SPECIALIST DETAIL & DESIGN
- RAISED PLASTER DETAIL
- PLASTER & PAINT
- CONCRETE ROOF TILES
- 100 PVC GUTTERS & DOWNPIPES
- ALUMINIUM WINDOW FRAMES
- BALUSTRADE TO COMPLY WITH PART D & M OF NBR
- BALUSTRADE TO DEVELOPERS CHOICE
- 3300 RC COLUMN
- 1800 HIGH SCREEN WALL
- CONCRETE CAPPING
- CONCRETE CAPPING
- 1800 HIGH SCREEN WALL
- FLASHING
- RAISED PLASTER DETAIL
- CONCRETE ROOF TILES
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- PLASTER & PAINT
- ALUMINIUM WINDOW FRAMES
- BALUSTRADE TO COMPLY WITH PART D & M OF NBR
- BALUSTRADE TO DEVELOPERS CHOICE
- 3300 RC COLUMN

E ELEVATION

1:100

N ELEVATION

1:100



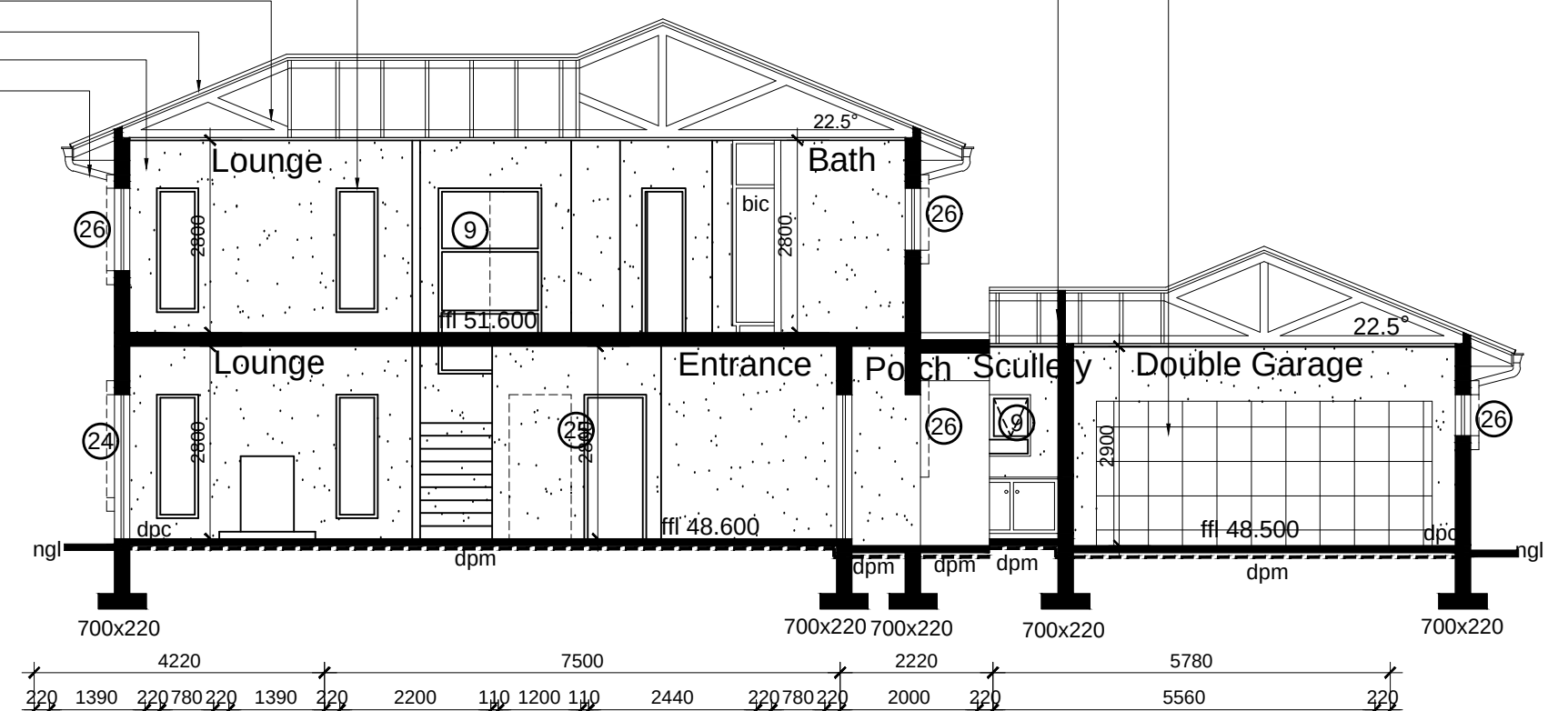
- Roof
- Concrete roof tiles on 38mm x 38mm tiling battens on
- sissilation on 115 x 38mm trusses at 690mm max. centres
- with 17.5° roof pitch on 115 x 38mm wallplates. Fibre
- cement fascias & bargeboards. Rainwater goods- PVC
- Walls
- All walls to be reinforced with 2 course "brickforce" at
- window head & cill levels throughout.
- Surface Bed
- 100mm concrete surface bed reinforced with 1 layer BRC
- mesh ref. 100 on 250 micron PVC underlay on well compact
- poison fill in accordance with SABS 0124.
- Glass
- All glass to comply with part N of N.B.R
- Safety glass to comply with part NN3 of N.B.R
- Structural Elements
- All r.c. slabs, stairs & retaining walls to engineers design
- & detail to be submitted to appropriate council prior to
- commencement. Stability Certificate to be provided upon
- completion
- Drainage
- Encase in concrete beneath all slabs & hardened surfaces &
- bridge over beneath walls
- Balustrade
- Balustrade to comply with part D & M of N.B.R Balustrade to developers
- choice.
- General
- Corner beacon pegs to be exposed prior to commencement of work.
- All dimensions and levels to be checked on site prior to work
- commencing. All building methods and materials to comply with
- national building regulations. The works to be set out from approved
- local authority plans only. Drawings are not to be scaled (figured
- dimensions to be read in preference to scaling) All reinforced concrete
- work
- to engineers specification. Inspection eyes to be provided at all bends
- and junctions.
- Stairs
- Max Riser 200mm
- Min Tread 250mm
- Banks
- Cut 34°
- Fill 26°

Deviation List:

1. Wall not built.
2. Finish floor material changed
3. Balustrade not required due to levels on site
4. 3000 rc column not built
5. Laminated beam used instead of Concrete beam
6. Window built instead of door
7. Pool built bigger with no rim overflow
8. Outside sink built
9. Style of window changed
10. Door size & style changed
11. Window size & style changed
12. Window centered on wall
13. No plaster surrounds
14. Concrete beam not built
15. Ground slopes
16. No Raised plaster band
17. Window added
18. Window not built
19. Pool built in different location
20. No double volumn
21. Door added
22. Roof modified
23. Window size changed
24. Door built instead of window
25. Door moved and opening bricked up
26. 100 width raised plaster replaces brick nibs
27. Raised plaster surround
28. Garage extended
29. Wall built
30. Pool built bigger
31. Column added
32. Stairs built
33. Balustrade required due to levels on site
34. Retaining wall built
35. Water feature built
36. Bathroom rearranged
37. Door not built
- 38.
39. Fireplace not built
40. Patto extended
41. Retaining wall built
42. Balcony extended
43. Column height reduced due to the removal of concrete beam
44. Concrete beam removed
45. Garage raised

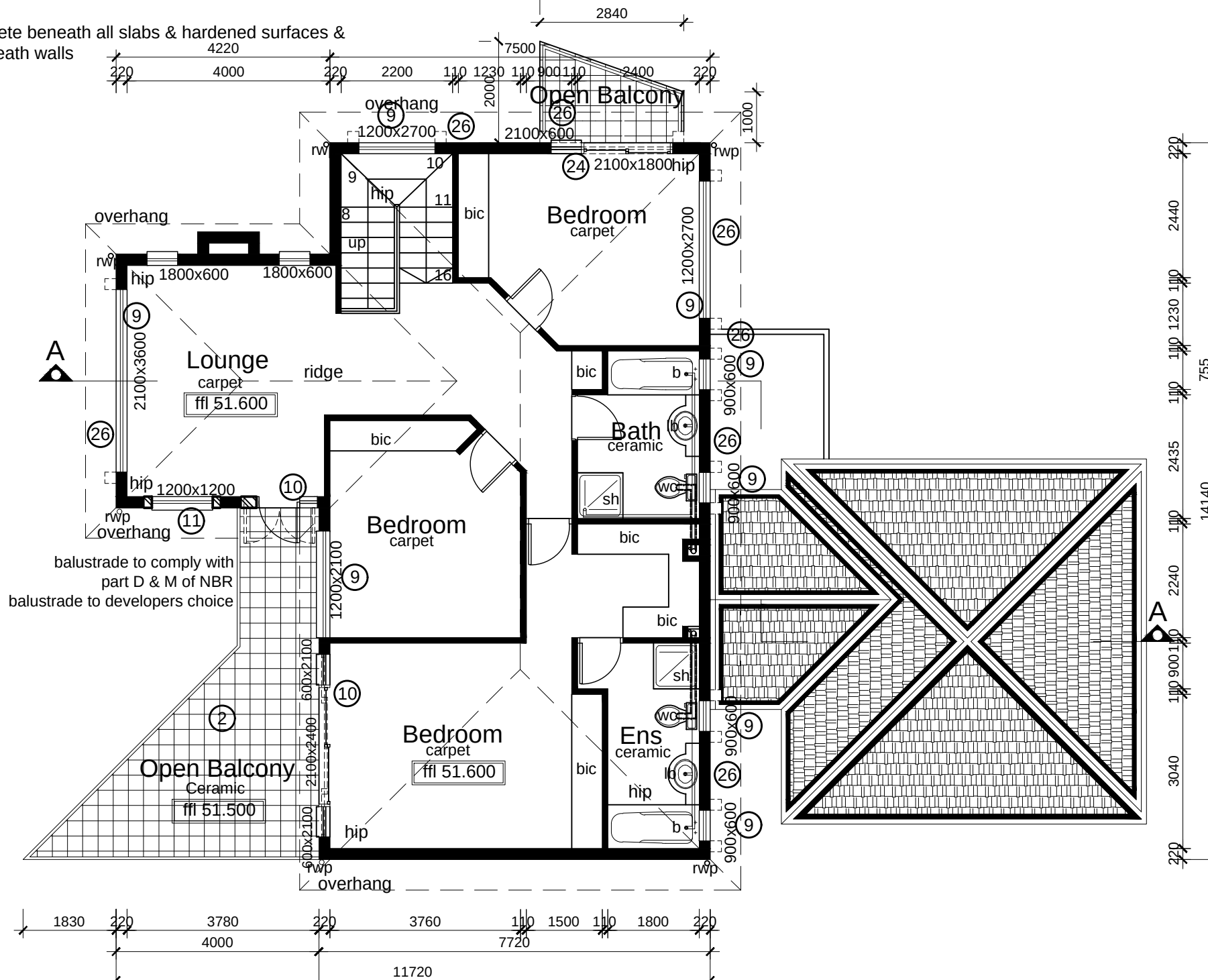
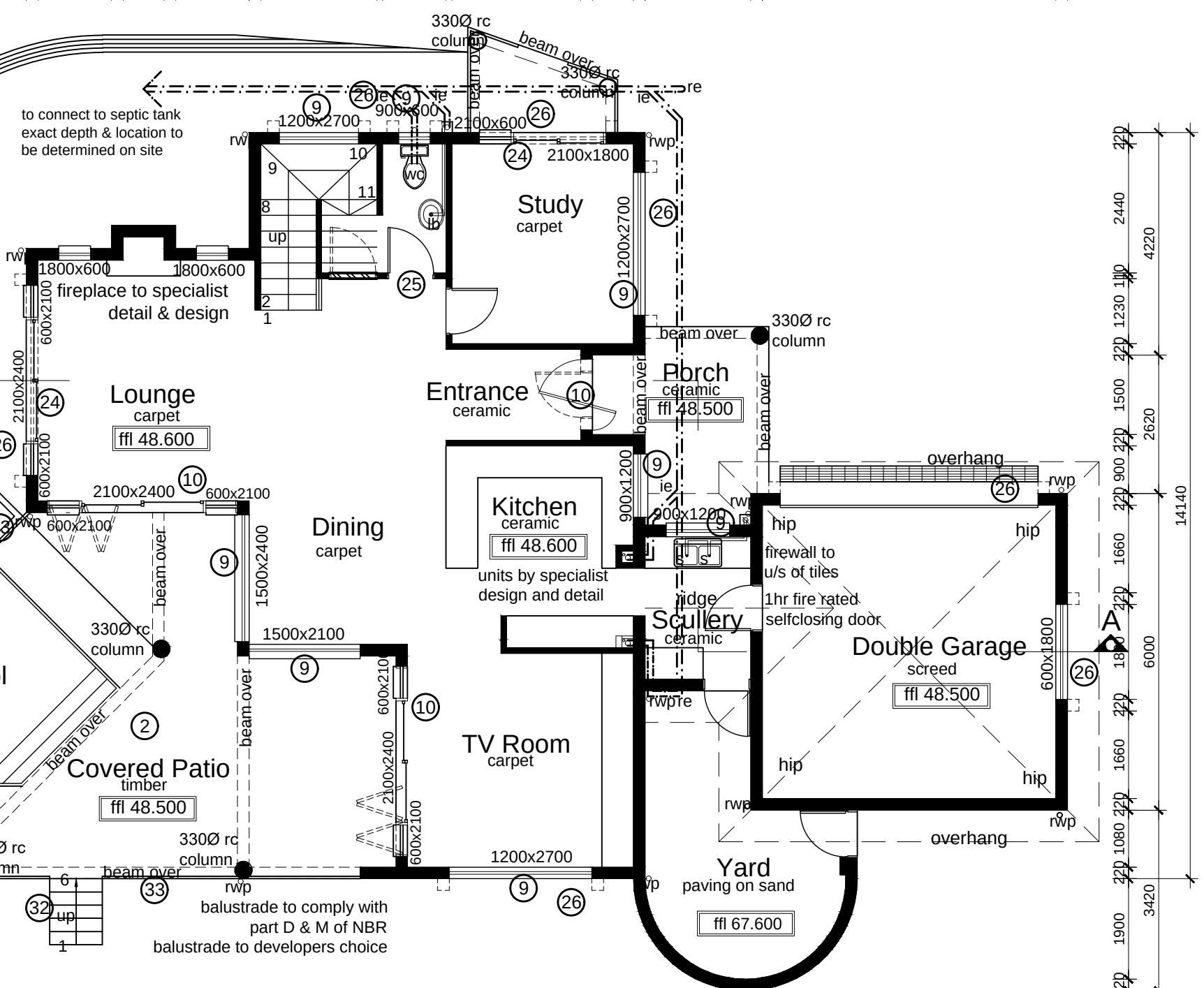
SECTION A-A

1:100



GROUND FLOOR PLAN

1:100



FIRST FLOOR PLAN

1:100

AREA	
GARAGES	36.600 m²
RESIDENCE	249.660 m²
BALCONY & PATIO	68.615 m²
TOTAL AREA	354.875 m²

NO ADDITIONAL AREA

Title: Working Drawings: unit #12
Client: Bonitas Medical Fund
Client Signature:

Project: Deviations form previously approved plan: 906/06/A
Site: Portion 7 of Erf 147, Clansthal Blamey Close

Scale: As-Shown Date: May 2009

Architectural Concepts

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Drg: 13/15 Job: 11440-AsBt